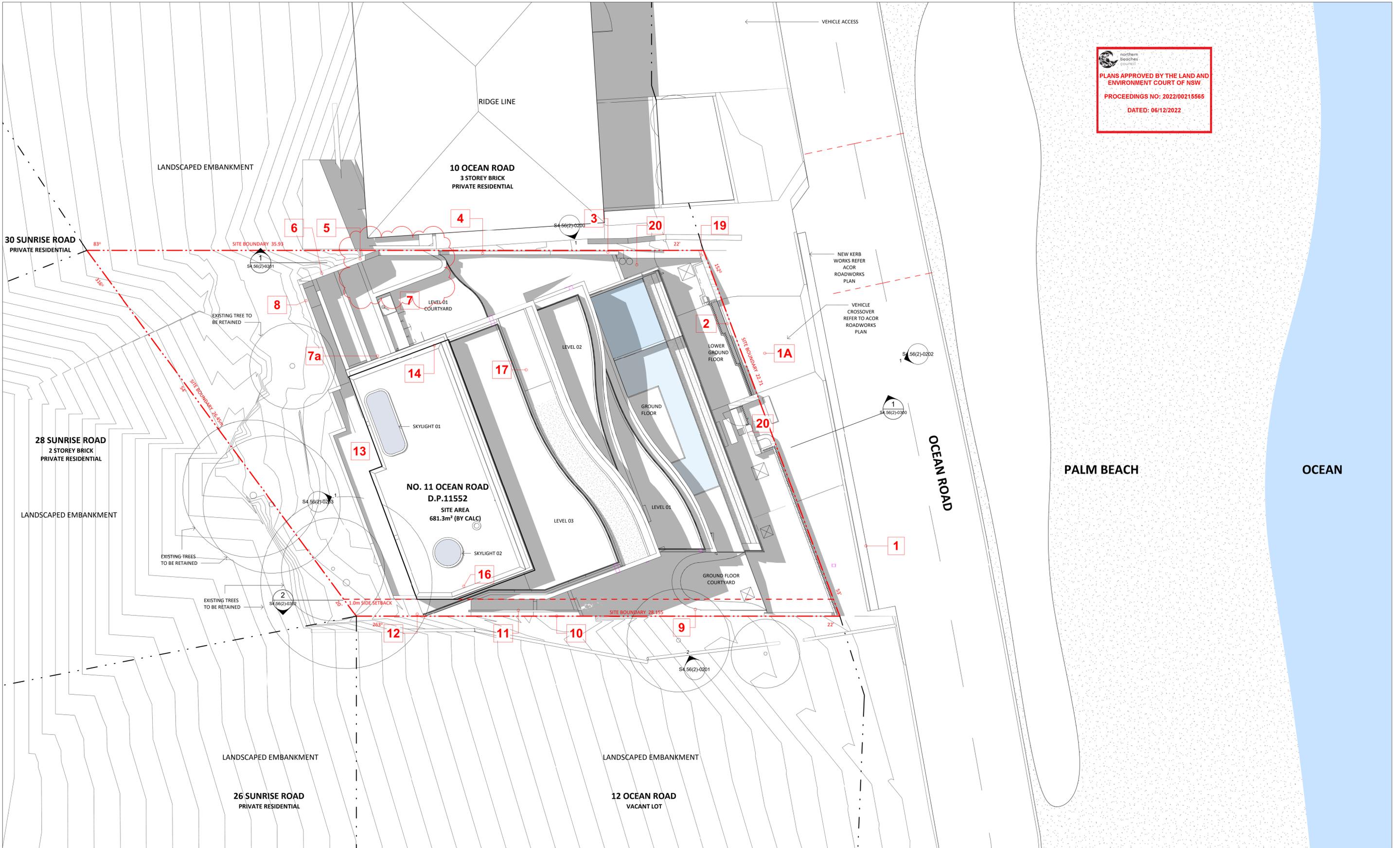


northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
 PROCEEDINGS NO: 2022/00215565
 DATED: 06/12/2022



NO.	REVISION	BY	CHK	DATE
A	S4.56	AG	AG	31/09/21
B	S4.56(2)	BY	GF	23/09/22
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22

REVISION NOTES:

NO.	REVISION	DATE
1	REVISION	31/10/22
2	ON HOLD	

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KOICHI TAKADA
 NSW ARCHITECTS 6901
 VIC ARCHITECTS 16179
 QLD ARCHITECTS 5590
 KOICHI TAKADA.COM

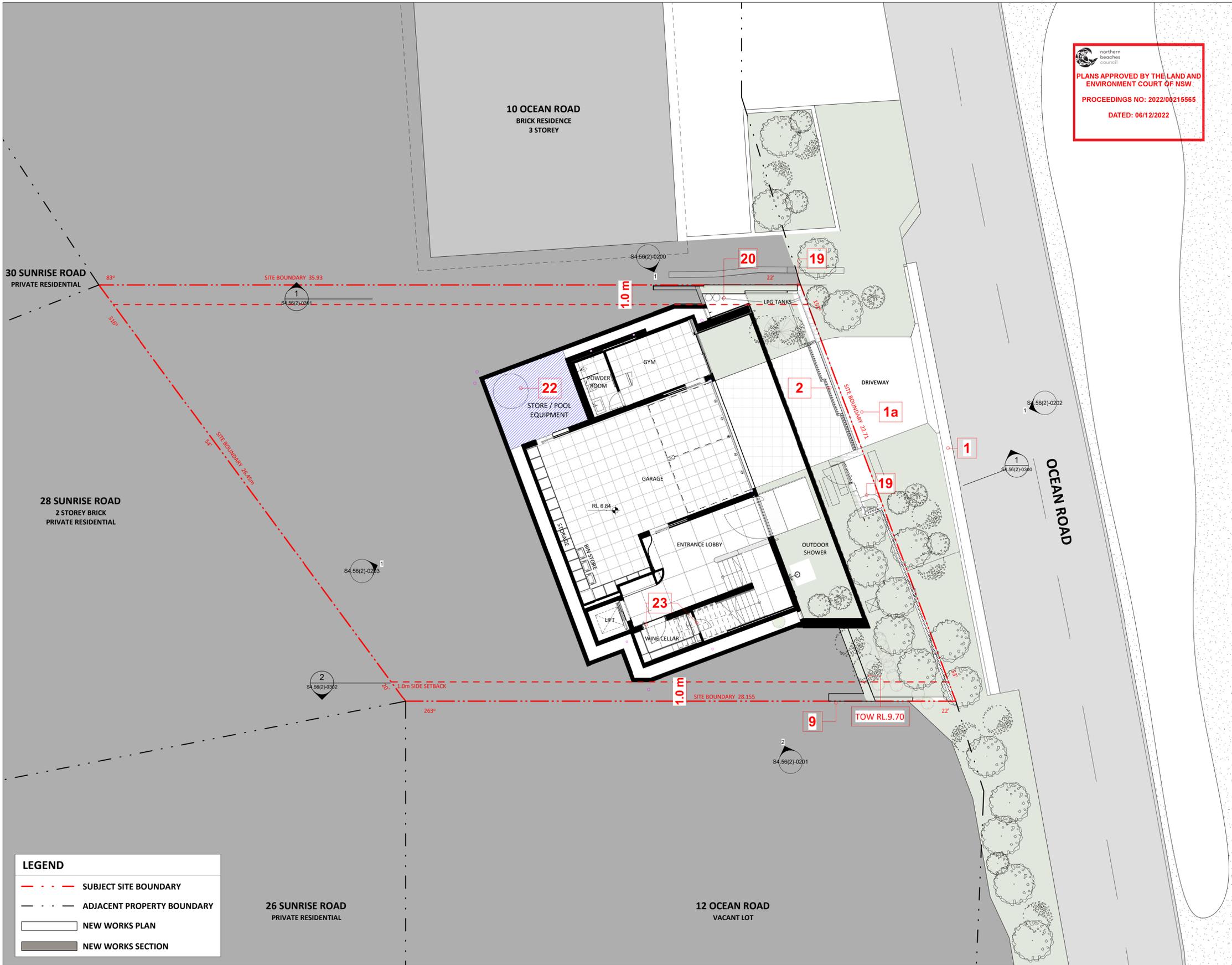
Koichi Takada Architects

PROJECT
11 OCEAN ROAD
 PALM BEACH, NSW 2108

STATUS
FOR CONSTRUCTION

SCALE
 1:100@A1, 1:200@A3

DWG TITLE	REVISION
SITE PLAN	C
DWG NO. S4.56(2)-0014	DATE 31/10/22





PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

 PROCEEDINGS NO: 2022/00215665

 DATED: 06/12/2022

- BASIX Commitments**
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 - Timer installed to pool pump
 - External clothes drying space installed
 - Installation of a solar power system to the dwelling, minimum peak output 1.3kW

LEGEND

- SUBJECT SITE BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- NEW WORKS PLAN
- NEW WORKS SECTION

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
A	S4.56	AG	AG	31/10/21	
B	S4.56(2)	BY	GF	23/09/22	
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22	

KEY PLAN

 SUBJECT SITE BOUNDARY
 ADJACENT PROPERTY BOUNDARY
 NEW WORKS PLAN
 NEW WORKS SECTION

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 KOICHI TAKADA.COM

Koichi Takada Architects



PROJECT

11 OCEAN ROAD
 PALM BEACH, NSW 2108

STATUS

FOR CONSTRUCTION

DWG NO.

S4.56(2)-0100

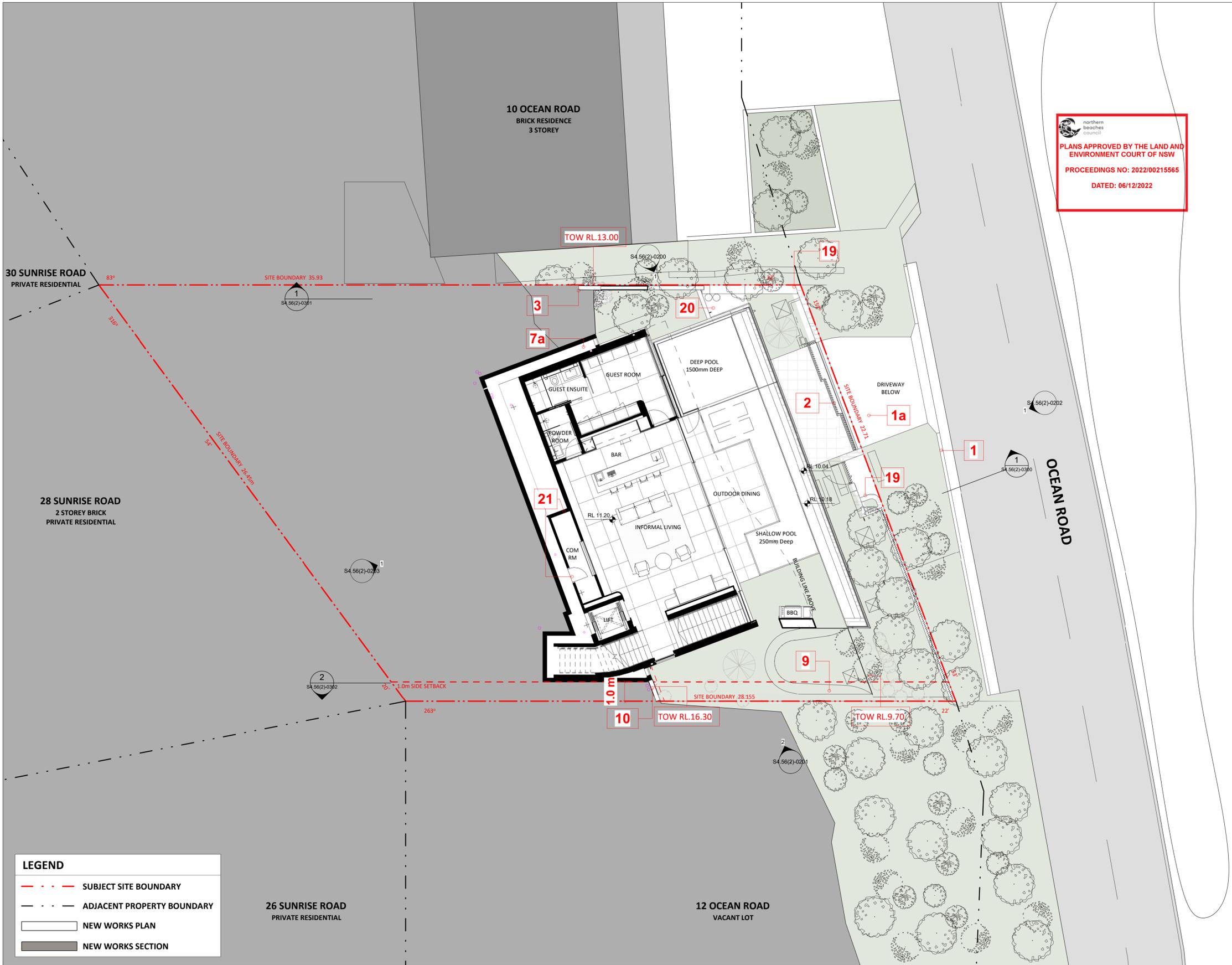
SCALE

1:100@A1, 1:200@A3

DATE

31/10/22

NO.	REVISION	DATE
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PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
 PROCEEDINGS NO: 2022/00215565
 DATED: 06/12/2022

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LEGEND

- - - - - SUBJECT SITE BOUNDARY
- - - - - ADJACENT PROPERTY BOUNDARY
- ▭ NEW WORKS PLAN
- ▭ NEW WORKS SECTION

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
A	S4.56	AG	AG	31/10/21	
B	S4.56(2)	BY	GF	23/09/22	
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22	

KEY PLAN

 REVISION
 ON HOLD

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 QLD ARCHITECTS 5590
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Koichi Takada Architects

PROJECT
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 PALM BEACH, NSW 2108

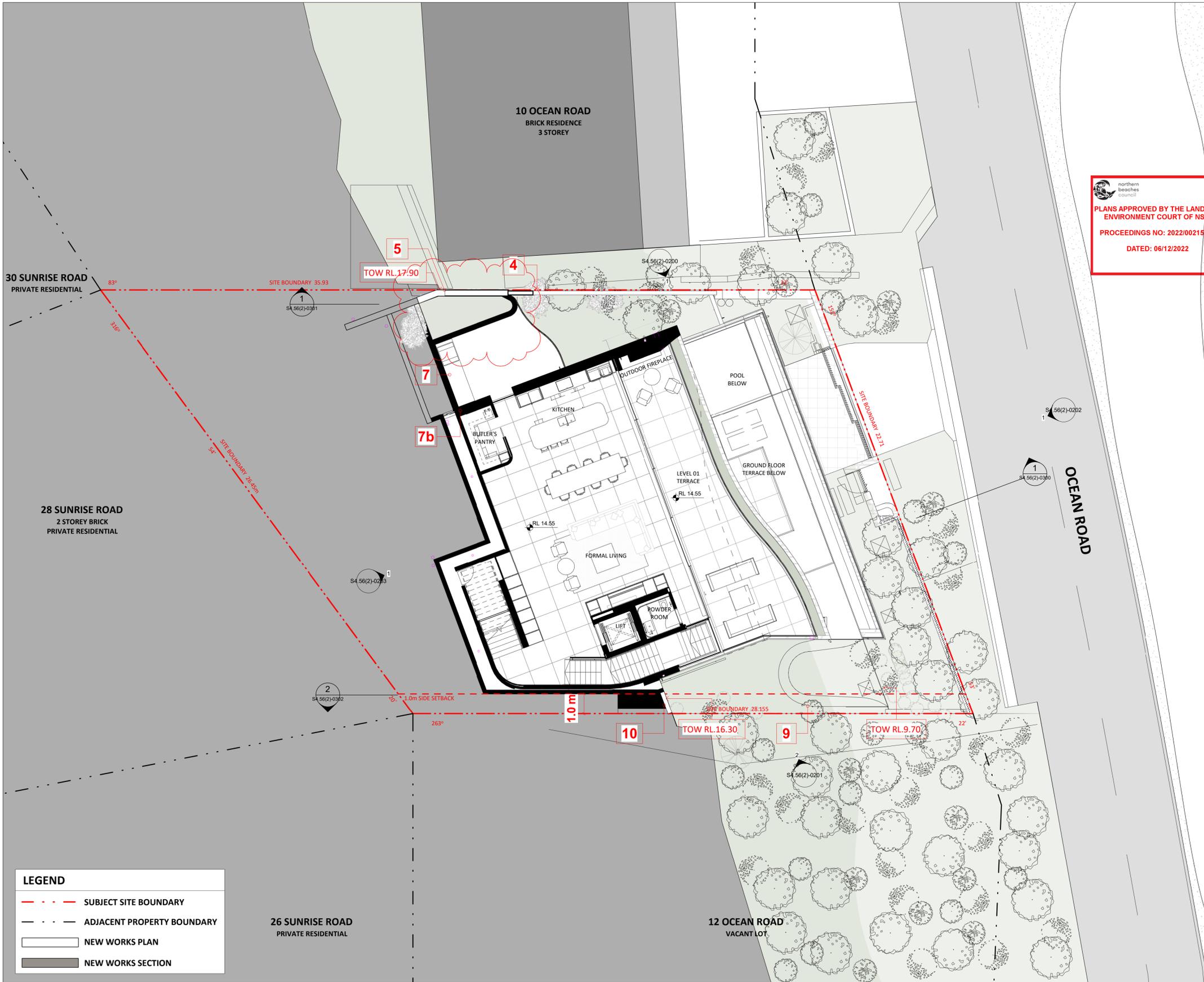
STATUS
 FOR CONSTRUCTION

DWG NO.
 S4.56(2)-0101

SCALE
 1:100@A1, 1:200@A3

DATE
 31/10/22

PROJECT 11 OCEAN ROAD PALM BEACH, NSW 2108		DWG TITLE GROUND FLOOR PLAN
STATUS FOR CONSTRUCTION	DWG NO. S4.56(2)-0101	REVISION C
SCALE 1:100@A1, 1:200@A3	DATE 31/10/22	



northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
 PROCEEDINGS NO: 2022/00215565
 DATED: 06/12/2022

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 - Timer installed to pool pump
 - External clothes drying space installed
 - Installation of a solar power system to the dwelling, minimum peak output 1.3kW

30 SUNRISE ROAD
PRIVATE RESIDENTIAL

28 SUNRISE ROAD
2 STOREY BRICK
PRIVATE RESIDENTIAL

26 SUNRISE ROAD
PRIVATE RESIDENTIAL

10 OCEAN ROAD
BRICK RESIDENCE
3 STOREY

PALM BEACH

SOUTH PACIFIC OCEAN

OCEAN ROAD

12 OCEAN ROAD
VACANT LOT

LEGEND

- SUBJECT SITE BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY
- NEW WORKS PLAN
- NEW WORKS SECTION

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
A	S4.56	AG	AG	31/10/21	
B	S4.56(2)	BY	GF	23/09/22	
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22	

KEY PLAN

CLOUD LEGEND

- REVISION
- ON HOLD

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Koichi Takada Architects

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 PALM BEACH, NSW 2108

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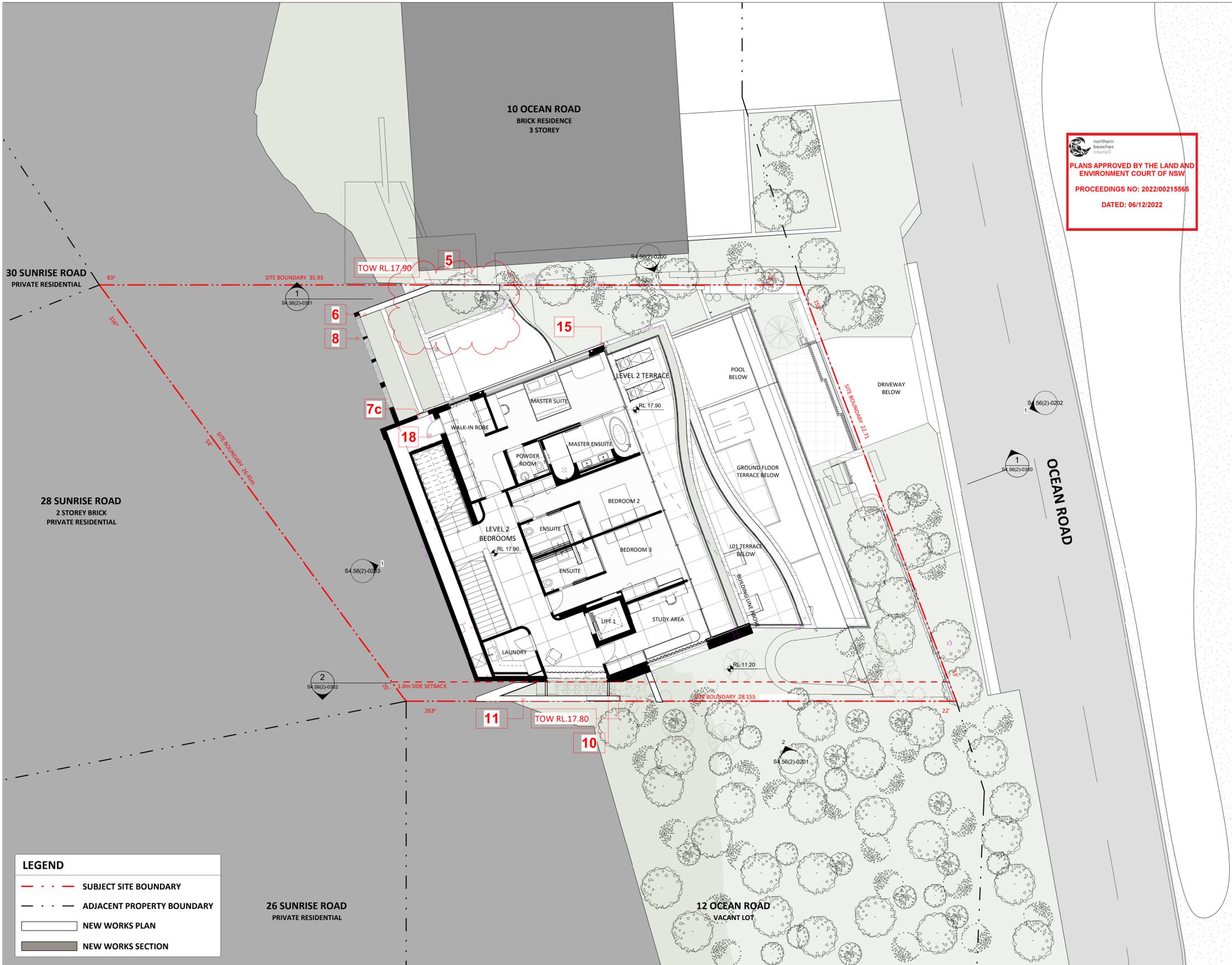
SCALE
 1:100@A1, 1:200@A3

DWG TITLE
 LEVEL 01 FLOOR PLAN

DWG NO.
 S4.56(2)-0102

REVISION
 C

DATE
 31/10/22





PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

 PROCEEDINGS NO: 2022/00215665

 DATED: 06/12/2022

- BASIX Commitments**
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LEGEND

- - - - SUBJECT SITE BOUNDARY
- - - - ADJACENT PROPERTY BOUNDARY
- NEW WORKS PLAN
- NEW WORKS SECTION

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
A	S4.56	AG	AG	31/10/21	
B	S4.56(2)	BY	GF	23/09/22	
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22	

KEY PLAN

● REVISION
○ ON HOLD

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Koichi Takada Architects

PROJECT

11 OCEAN ROAD
 PALM BEACH, NSW 2108

STATUS

FOR CONSTRUCTION

DWG TITLE

LEVEL 02 FLOOR PLAN

DWG NO.

S4.56(2)-0103

REVISION

C

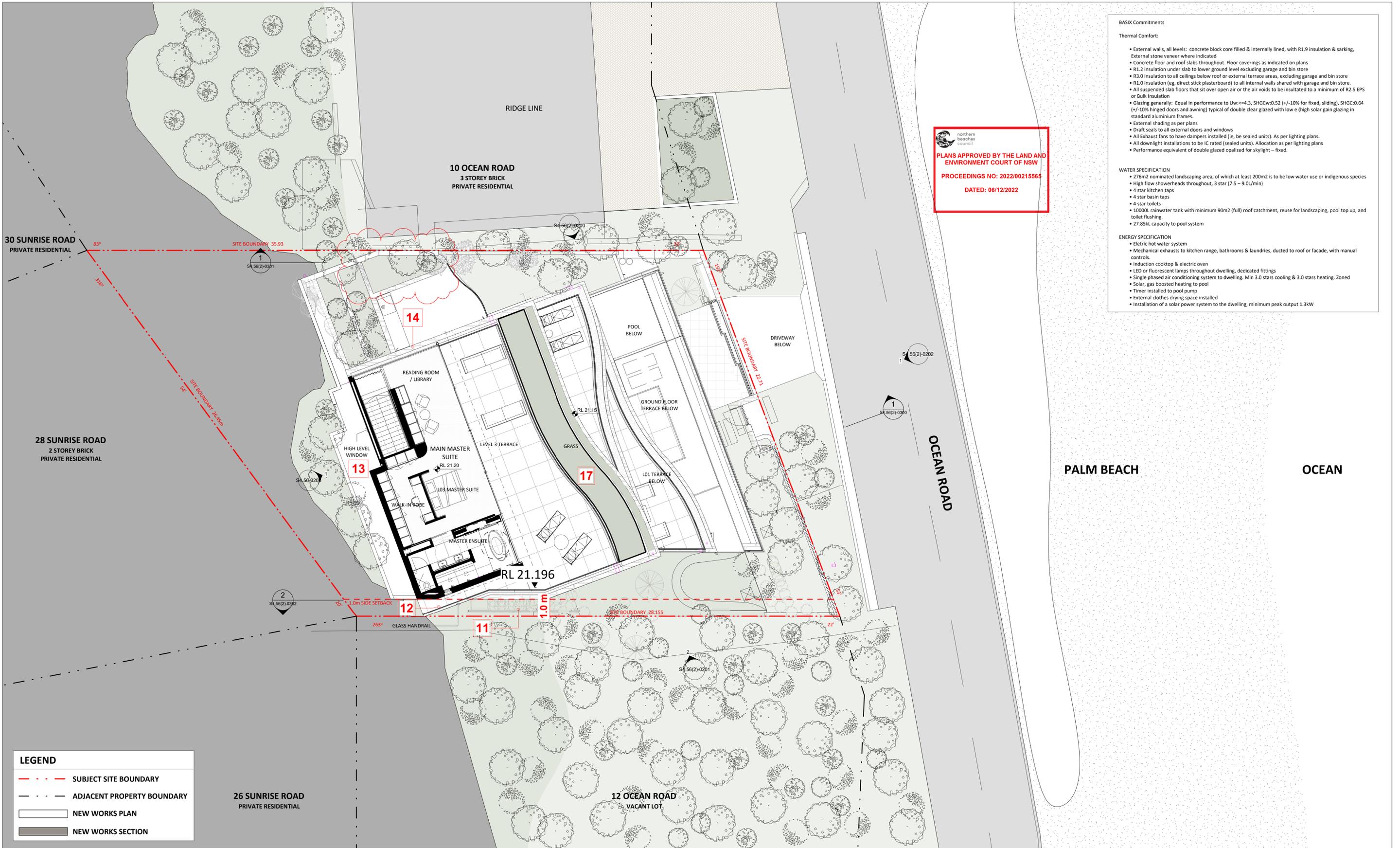
SCALE

1:100@A1, 1:200@A3

DATE

31/10/22






 northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
PROCEEDINGS NO: 2022/00215565
DATED: 06/12/2022

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LEGEND

- SUBJECT SITE BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- NEW WORKS PLAN
- NEW WORKS SECTION

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
A	S4.56	AG	AG	31/10/21	
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C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22	

KEY PLAN

 SUBJECT SITE BOUNDARY
 ADJACENT PROPERTY BOUNDARY
 NEW WORKS PLAN
 NEW WORKS SECTION

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ASN 63 131 365 896
NOMINATED ARCHITECT:
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NSW ARCHITECTS 6901
VIC ARCHITECTS 16179
QLD ARCHITECTS 5590
KOICHI TAKADA.COM

Koichi Takada Architects

PROJECT: 11 OCEAN ROAD
PALM BEACH, NSW 2108

STATUS: FOR CONSTRUCTION

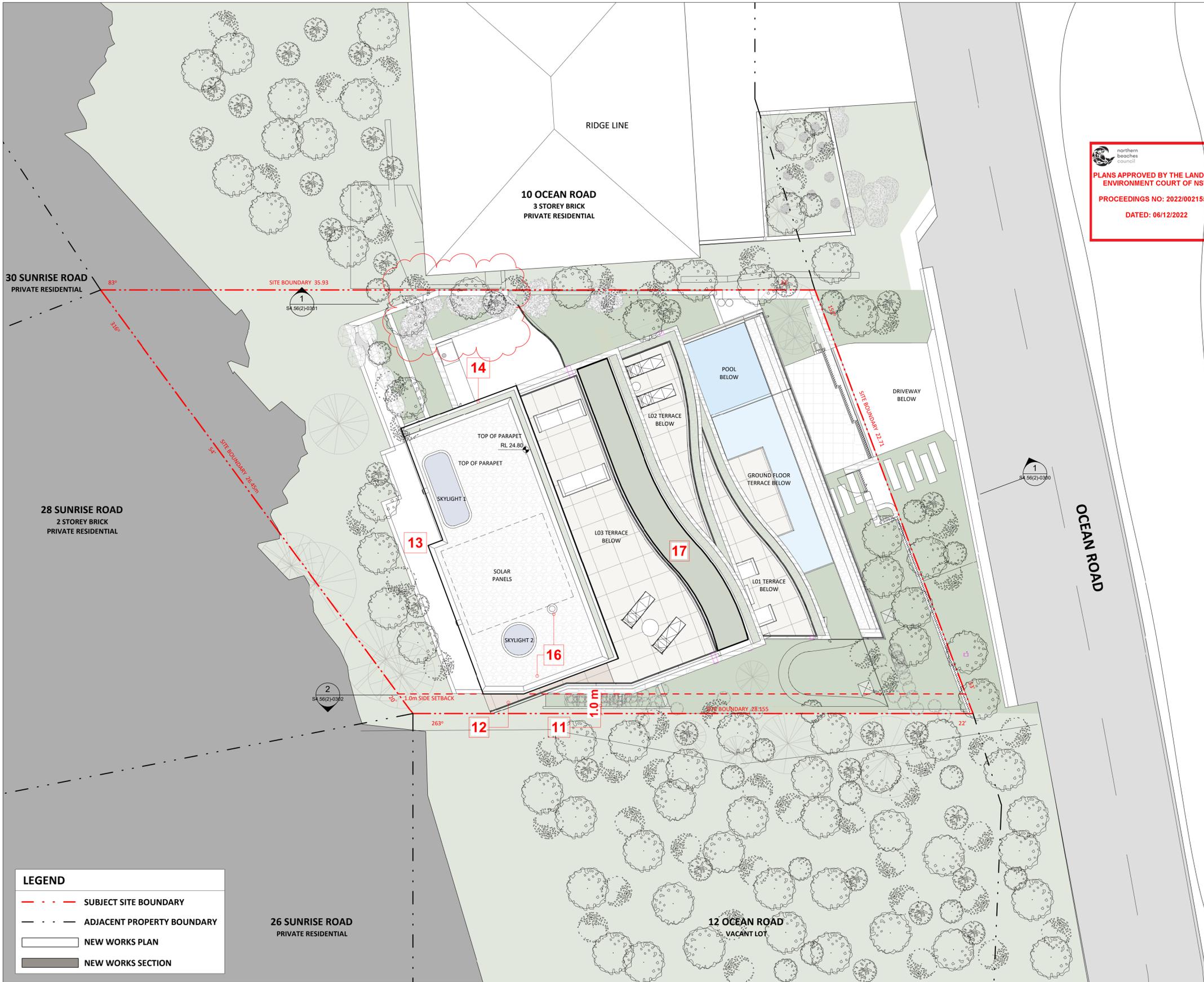
DWG NO.: S4.56(2)-0104

SCALE: 1:100@A1, 1:200@A3

DATE: 31/10/22

REVISION: C

DATE: 31/10/22




PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
 PROCEEDINGS NO: 2022/00215565
 DATED: 06/12/2022

- BASIX Commitments**
- Thermal Comfort:**
- External walls, all levels: concrete block core filled & internally lined, with R1.9 insulation & sarking. External stone veneer where indicated
 - Concrete floor and roof slabs throughout. Floor coverings as indicated on plans
 - R1.2 insulation under slab to lower ground level excluding garage and bin store
 - R3.0 insulation to all ceilings below roof or external terrace areas, excluding garage and bin store
 - R1.0 insulation (eg. direct stick plasterboard) to all internal walls shared with garage and bin store.
 - All suspended slab floors that sit over open air or the air voids to be insulated to a minimum of R2.5 EPS or Bulk Insulation
 - Glazing generally: Equal in performance to $U_w \leq 4.3$, $SHGC_w: 0.52$ (+/-10% for fixed, sliding), $SHGC: 0.64$ (+/-10% hinged doors and awning) typical of double clear glazed with low e (high solar gain glazing in standard aluminium frames).
 - External shading as per plans
 - Draft seals to all external doors and windows
 - All Exhaust fans to have dampers installed (ie. be sealed units). As per lighting plans.
 - All daylight installations to be IC rated (sealed units). Allocation as per lighting plans
 - Performance equivalent of double glazed opalized for skylight – fixed.
- WATER SPECIFICATION**
- 276m² nominated landscaping area, of which at least 200m² is to be low water use or indigenous species
 - High flow showerheads throughout, 3 star (7.5 – 9.0l/min)
 - 4 star kitchen taps
 - 4 star basin taps
 - 4 star toilets
 - 10000L rainwater tank with minimum 90m² (full) roof catchment, reuse for landscaping, pool top up, and toilet flushing.
 - 27.85kl capacity to pool system
- ENERGY SPECIFICATION**
- Electric hot water system
 - Mechanical exhausts to kitchen range, bathrooms & laundries, ducted to roof or facade, with manual controls.
 - Induction cooktop & electric oven
 - LED or fluorescent lamps throughout dwelling, dedicated fittings
 - Single phased air conditioning system to dwelling. Min 3.0 stars cooling & 3.0 stars heating. Zoned
 - Solar, gas boosted heating to pool
 - Timer installed to pool pump
 - External clothes drying space installed
 - Installation of a solar power system to the dwelling, minimum peak output 1.3kW

LEGEND

- SUBJECT SITE BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- NEW WORKS PLAN
- NEW WORKS SECTION

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
A	S4.56	AG	AG	31/10/21	
B	S4.56(2)	BY	GF	23/09/22	
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22	

KEY PLAN

 SUBJECT SITE BOUNDARY
 ADJACENT PROPERTY BOUNDARY
 NEW WORKS PLAN
 NEW WORKS SECTION

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 ABN 63 131 365 896
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 VIC ARCHITECTS 16179
 QLD ARCHITECTS 5590
 KOICHI TAKADA.COM

Koichi Takada Architects

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PROJECT	DWG TITLE
11 OCEAN ROAD PALM BEACH, NSW 2108	ROOF PLAN
STATUS FOR CONSTRUCTION	DWG NO. S4.56(2)-0105
SCALE 1:100@A1, 1:200@A3	REVISION C
DATE 31/10/22	

BASIX Commitments

Thermal Comfort:

- External walls, all levels: concrete block core filled & internally lined, with R1.9 insulation & sarking, External stone veneer where indicated
- Concrete floor and roof slabs throughout. Floor coverings as indicated on plans
- R1.2 insulation under slab to lower ground level excluding garage and bin store
- R3.0 insulation to all ceilings below roof or external terrace areas, excluding garage and bin store
- R1.0 insulation (eg. direct stick plasterboard) to all internal walls shared with garage and bin store.
- All suspended slab floors that sit over open air or the air voids to be insulated to a minimum of R2.5 EPS or Bulk Insulation
- Glazing generally: Equal in performance to $U_w \leq 4.3$, $SHGC_w \leq 0.52$ (+/-10% for fixed, sliding), $SHGC \leq 0.64$ (+/-10% hinged doors and awning) typical of double clear glazed with low e (high solar gain glazing in standard aluminium frames.
- External shading as per plans
- Draft seals to all external doors and windows
- All Exhaust fans to have dampers installed (ie, be sealed units). As per lighting plans.
- All downlight installations to be IC rated (sealed units). Allocation as per lighting plans
- Performance equivalent of double glazed opalised for skylight – fixed.

WATER SPECIFICATION

- 276m² nominated landscaping area, of which at least 200m² is to be low water use or indigenous species
- High flow showerheads throughout, 3 star (7.5 – 9.0L/min)
- 4 star kitchen taps
- 4 star basin taps
- 4 star toilets
- 10000L rainwater tank with minimum 90m² (full) roof catchment, reuse for landscaping, pool top up, and toilet flushing.
- 27.85kL capacity to pool system

ENERGY SPECIFICATION

- Electric hot water system
- Mechanical exhausts to kitchen range, bathrooms & laundries, ducted to roof or facade, with manual controls.
- Induction cooktop & electric oven
- LED or fluorescent lamps throughout dwelling, dedicated fittings
- Single phased air conditioning system to dwelling. Min 3.0 stars cooling & 3.0 stars heating. Zoned
- Solar, gas boosted heating to pool
- Timer installed to pool pump
- External clothes drying space installed
- Installation of a solar power system to the dwelling, minimum peak output 1.3kW

northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
 PROCEEDINGS NO: 2022/00215565
 DATED: 06/12/2022

**11 OCEAN ROAD
SUBJECT SITE**

LEGEND

AL 01	TIMBER LOOK ALUMINIUM BATTEN
AL 02	LIGHT COLOURED ALUMINIUM FRAMES
CB	COBBLESTONE
CNC	CONCRETE RENDER
GL 01	GLAZING
GL 02	GLAZED BALUSTRADE
PB	PEBBLES
SN	SANDSTONE CLADDING
TF 01	TIMBER FINISH INTERIOR
TF 02	TIMBER FINISH EXTERIOR

SITE BOUNDARY

SITE BOUNDARY



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B	S4.56(2)	BY	GF	23/09/22																												
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22																												

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WATER SPECIFICATION

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northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
 PROCEEDINGS NO: 2022/00215565
 DATED: 06/12/2022



LEGEND

- AL 01 TIMBER LOOK ALUMINIUM BATTEN
- AL 02 LIGHT COLOURED ALUMINIUM FRAMES
- CB COBBLESTONE
- CNC CONCRETE RENDER
- GL 01 GLAZING
- GL 02 GLAZED BALUSTRADE
- PB PEBBLES
- SND SANDSTONE CLADDING
- TF 01 TIMBER FINISH INTERIOR
- TF 02 TIMBER FINISH EXTERIOR

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
A	S4.56	AG	AG	31/10/21	
B	S4.56(2)	BY	GF	23/09/22	
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22	

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:

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NO.	REVISION	BY	CHK	DATE	REVISION NOTES:

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 T 02 9698 8510
 ABN 63 131 365 896
 NOMINATED ARCHITECT:
 KOICHI TAKADA
 NSW ARCHITECTS 6901
 VIC ARCHITECTS 16179
 QLD ARCHITECTS 5590
 KOICHI TAKADA.COM

Koichi Takada Architects

PROJECT
 11 OCEAN ROAD
 PALM BEACH, NSW 2108

STATUS
 FOR CONSTRUCTION

SCALE
 1:100@A1, 1:200@A3

DWG TITLE
 EAST ELEVATION (OCEAN ROAD)

DWG NO.
 S4.56(2)-0202

REVISION
 C

DATE
 31/10/22

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BASIX Commitments

Thermal Comfort:

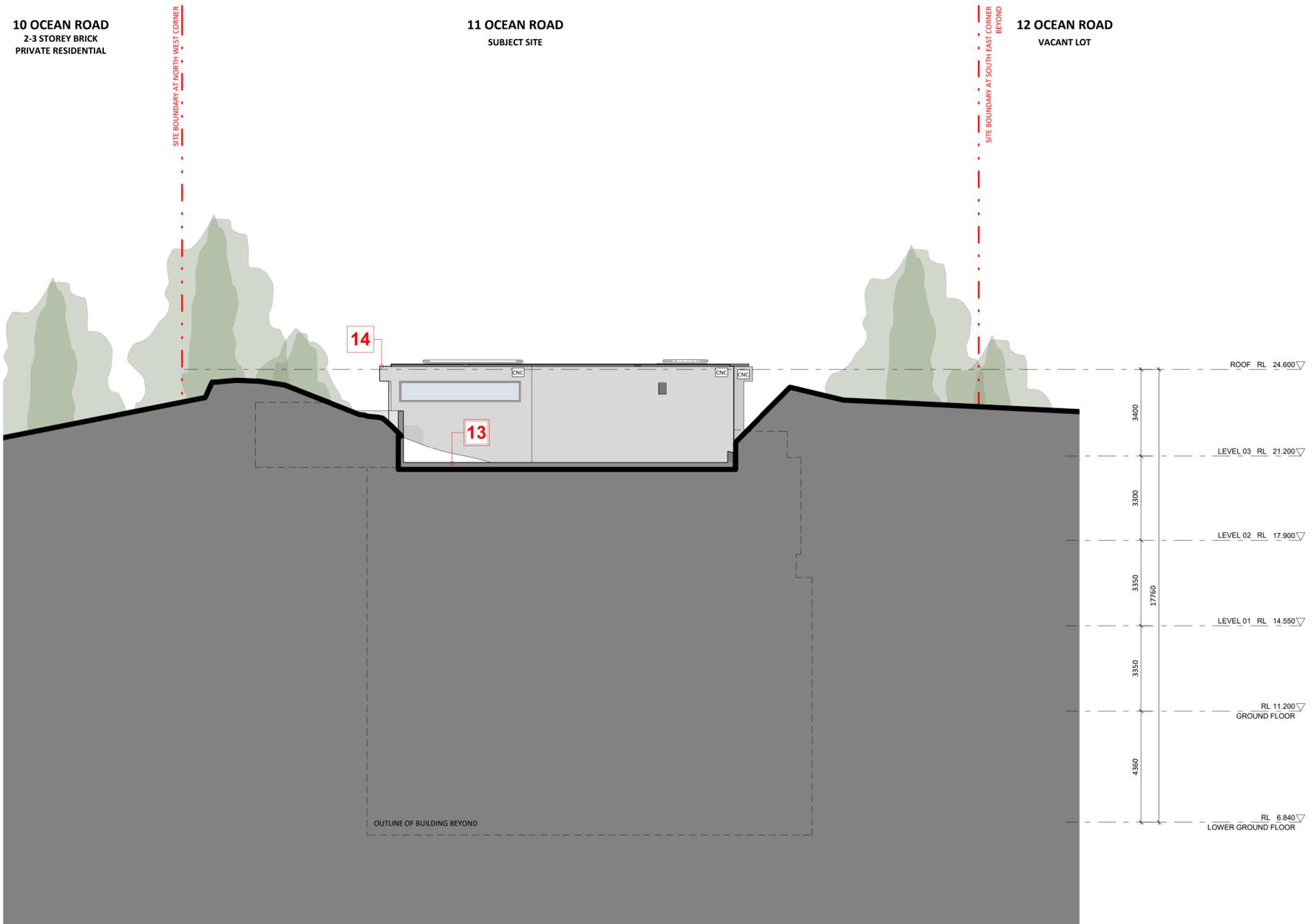
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- Installation of a solar power system to the dwelling, minimum peak output 1.3kW



LEGEND

AL 01	TIMBER LOOK ALUMINIUM BATTEN
AL 02	LIGHT COLOURED ALUMINIUM FRAMES
CB	COBBLESTONE
CNC	CONCRETE RENDER
GL 01	GLAZING
GL 02	GLAZED BALUSTRADE
PB	PEBBLES
SND	SANDSTONE CLADDING
TF 01	TIMBER FINISH INTERIOR
TF 02	TIMBER FINISH EXTERIOR

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
A	S4.56	AG	AG	31/10/21	
B	S4.56(2)	BY	GF	23/09/22	
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22	

KEY PLAN
CLOUD LEGEND
REVISION
ON HOLD

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PROJECT
 11 OCEAN ROAD
 PALM BEACH, NSW 2108

STATUS
 FOR CONSTRUCTION

SCALE
 1:100@A1, 1:200@A3

DWG TITLE
 WEST ELEVATION (REAR)

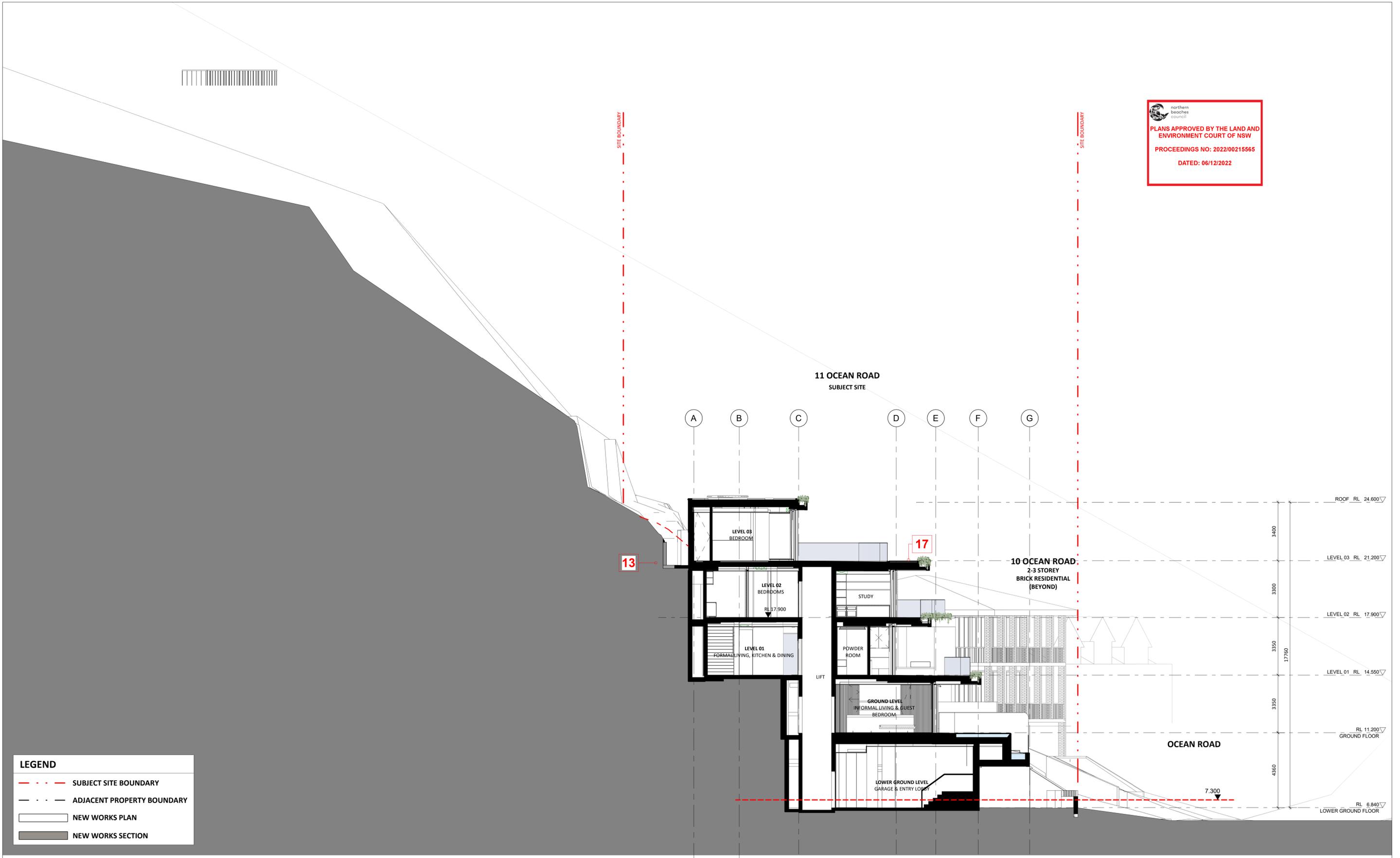
DWG NO.
 S4.56(2)-0203

REVISION
 C

DATE
 31/10/22



northern beaches council
PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW
 PROCEEDINGS NO: 2022/00215565
 DATED: 06/12/2022



LEGEND

- - - - - SUBJECT SITE BOUNDARY
- - - - - ADJACENT PROPERTY BOUNDARY
- NEW WORKS PLAN
- NEW WORKS SECTION

NO.	REVISION	BY	CHK	DATE
A	S4.56	BYG	AG	31/10/21
B	S4.56(2)	BYG	GF	23/09/22
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22

REVISION NOTES:

REVISION ON HOLD

KEY PLAN

CLOUD LEGEND

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PROJECT
 11 OCEAN ROAD
 PALM BEACH, NSW 2108

STATUS
 FOR CONSTRUCTION

0 5 m

DWG TITLE
 SECTION A (BUILDING)

DWG NO.
 S4.56(2)-0300

REVISION
 C

SCALE
 1:100@A1, 1:200@A3

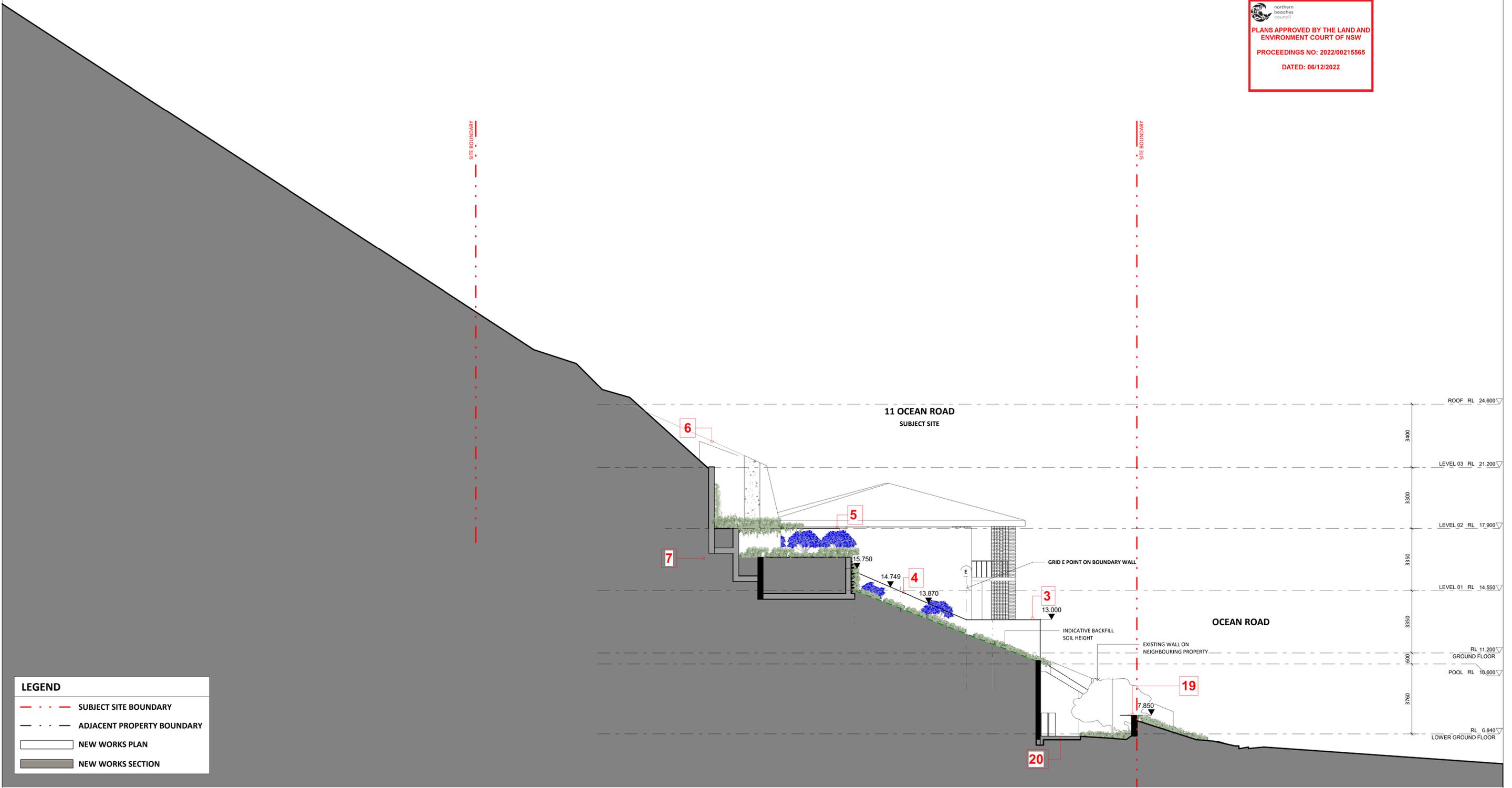
DATE
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PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

 PROCEEDINGS NO: 2022/00215565

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LEGEND

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- NEW WORKS PLAN
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OTHERS:

CLIENT:
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PROJECT:
 11 OCEAN ROAD
 PALM BEACH, NSW 2108

STATUS:
 FOR CONSTRUCTION

SCALE:
 1:100@A1, 1:200@A3

DWG TITLE:
 SECTION B (NORTH BOUNDARY)

DWG NO.:
 S4.56(2)-0301

REVISION:
 C

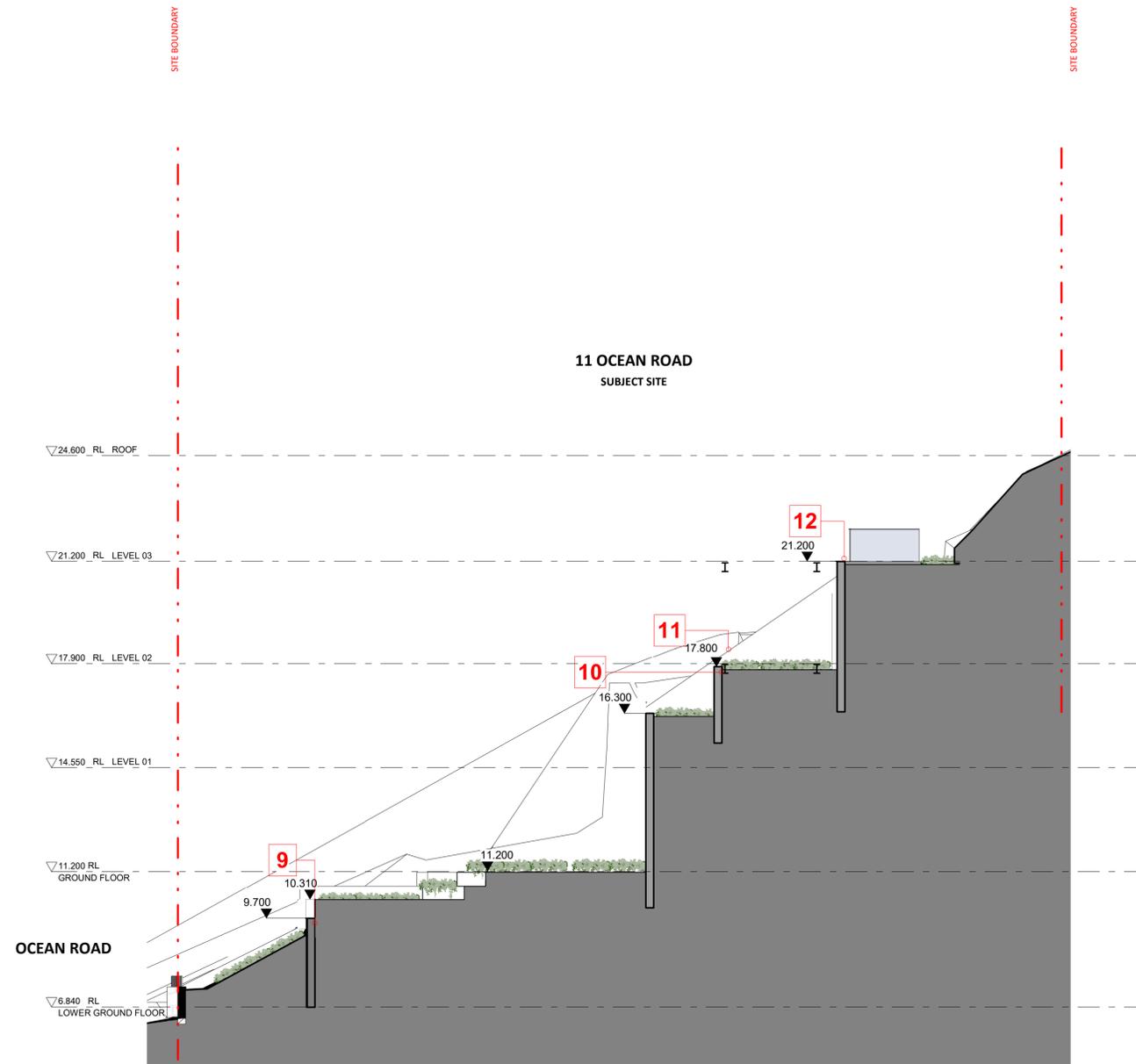
DATE:
 31/10/22



PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2022/00215565

DATED: 06/12/2022



LEGEND	
	SUBJECT SITE BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	NEW WORKS PLAN
	NEW WORKS SECTION

NO.	REVISION	BY	CHK	DATE	REVISION NOTES:
A	S4.56	AG	AG	31/10/21	
B	S4.56(2)	BY	GF	23/09/22	
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22	

KEY PLAN	
	REVISION
	ON HOLD

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PROJECT:
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Koichi Takada Architects

STATUS:
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DWG NO.:
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SCALE:
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 31/10/22