
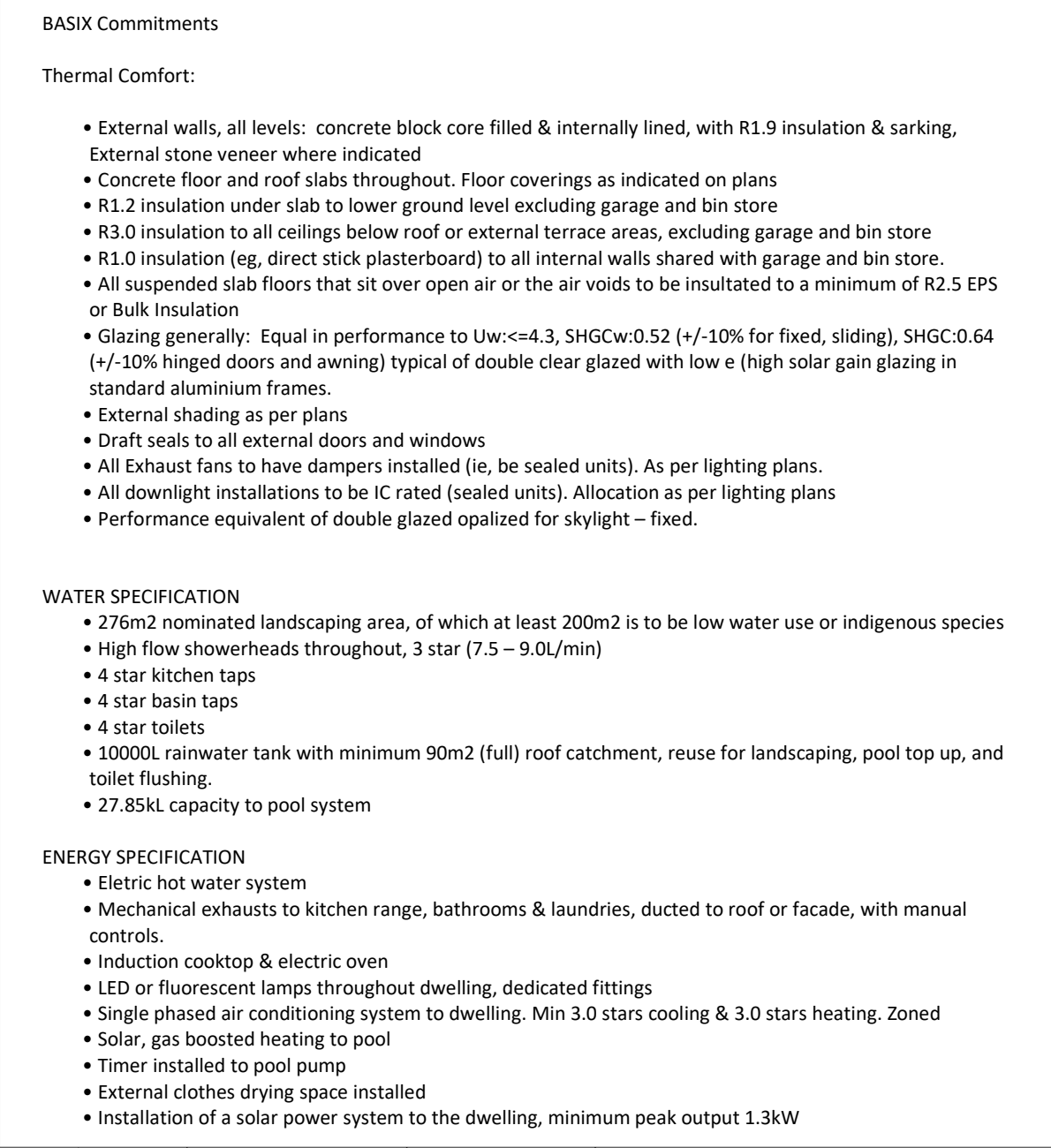



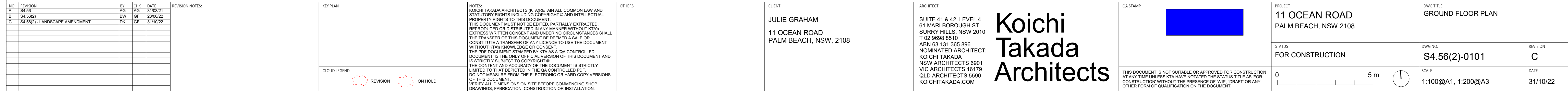
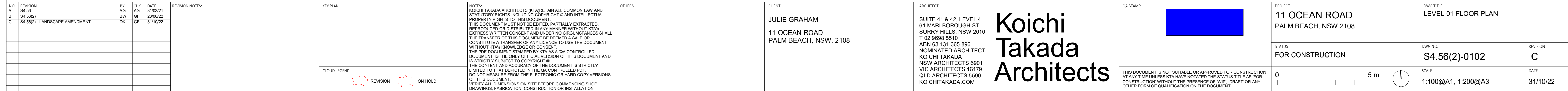


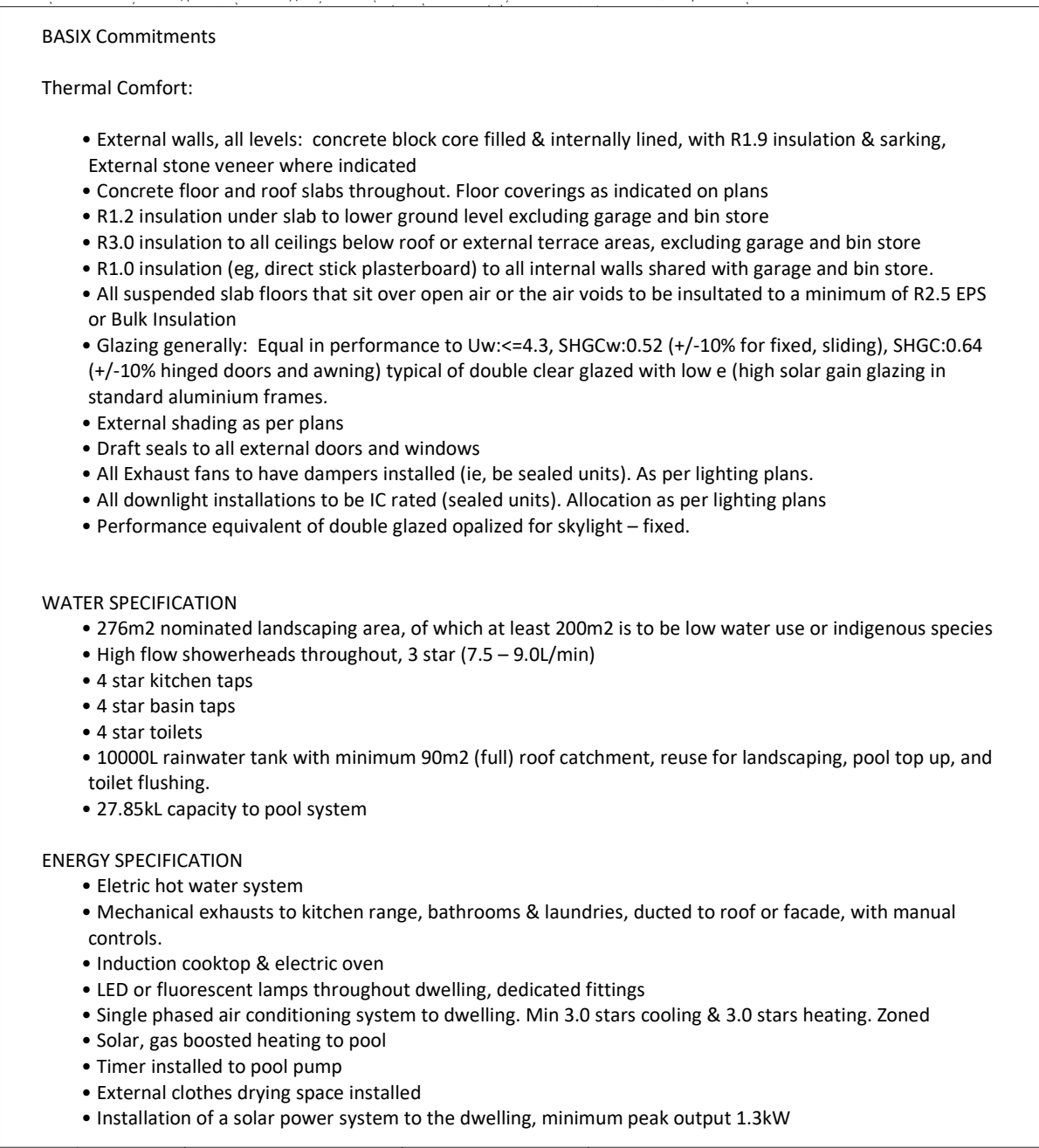
NO. REVISION					BY CHK DATE					REVISION NOTES:					KEY PLAN					NOTES:					OTHERS					CLIENT					ARCHITECT					GA STAMP					PROJECT					DWG TITLE					REVISION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
A S4.56					AG AG 31/10/21					KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT © AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT.					THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT.					THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT ©.					THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT.					VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION.					JULIE GRAHAM					SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURRY HILLS, NSW 2010 T 02 9698 8510 ABN 63 131 385 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 18179 QLD ARCHITECTS 5590 KOICHI TAKADA.COM										11 OCEAN ROAD PALM BEACH, NSW 2108					11 OCEAN ROAD PALM BEACH, NSW 2108					SITE PLAN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
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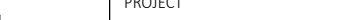




NO. REVISION				BY	CHK	DATE	REVISION NOTES:	KEY PLAN	NOTES:	OTHERS	CUSTOMER	ARCHITECT	QA STAMP	PROJECT	DWG TITLE	REVISION	
A	S4.56	AG	AG	31/03/21					KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT'S AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT		JULIE GRAHAM	SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURREY HILLS, NSW 2010 T 02 9698 8510 AEN 63 131 365 896	 Koichi Takada Architects	11 OCEAN ROAD PALM BEACH, NSW 2108	LOWER GROUND FLOOR PLAN		
B	S4.56(2)	RFV	GF	25/08/22					THIS DOCUMENT MUST NOT BE EDITED. PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT		11 OCEAN ROAD PALM BEACH, NSW, 2108	NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS' 6601 VIC ARCHITECTS' 16919 QLD ARCHITECTS' 5590 KOAICHTAKADA.COM					
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22					THE PDF DOCUMENT STAMPED BY KTA AS A 'QA CONTROLLED DOCUMENT' IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT'S					STATUS: FOR CONSTRUCTION	DWG NO. S4.56(2)-0100	REVISION C	
								CLOUD LEGEND	VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION				THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS 'FOR CONSTRUCTION' WITHOUT THE PRESENCE OF 'W/ST' TRAFFIC OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.	0	5 m	SCALE 1:100@A1, 1:200@A3	DATE 31/10/22
								 REVISION  ON HOLD									











NO. REVISION				BY	CHK	DATE	REVISION NOTES:	KEY PLAN	NOTES:	OTHERS	CUSTOMER	ARCHITECT	QA STAMP	PROJECT	DWG TITLE	REVISION					
A S4.56				RAV	GF	31/03/21			KOICHI TAKADA ARCHITECTS (KTA) RETAIN ALL COMMON LAW AND STATUTORY RIGHTS INCLUDING COPYRIGHT'S AND INTELLECTUAL PROPERTY RIGHTS TO THIS DOCUMENT THIS DOCUMENT MUST NOT BE EDITED, PARTIALLY EXTRACTED, REPRODUCED OR DISTRIBUTED IN ANY MANNER WITHOUT KTA'S EXPRESS WRITTEN CONSENT AND UNDER NO CIRCUMSTANCES SHALL THE TRANSFER OF THIS DOCUMENT BE DEEMED A SALE OR CONSTITUTE A TRANSFER OF ANY LICENCE TO USE THE DOCUMENT WITHOUT KTA'S KNOWLEDGE OR CONSENT THE PDF DOCUMENT STAMPED BY KTA AS A "QA CONTROLLED DOCUMENT" IS THE ONLY OFFICIAL VERSION OF THIS DOCUMENT AND IS STRICTLY SUBJECT TO COPYRIGHT © THE CONTENT AND ACCURACY OF THE DOCUMENT IS STRICTLY LIMITED TO THAT DEPICTED IN THE QA CONTROLLED PDF. DO NOT MEASURE FROM THE ELECTRONIC OR HARD COPY VERSIONS OF THIS DOCUMENT VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING SHOP DRAWINGS, FABRICATION, CONSTRUCTION OR INSTALLATION		JULIE GRAHAM	SUITE 41 & 42, LEVEL 4 61 MARLBOROUGH ST SURREY HILLS, NSW 2010 T 02 9698 8510 AEN 63 131 365 896 NOMINATED ARCHITECT: KOICHI TAKADA NSW ARCHITECTS 6901 VIC ARCHITECTS 16719 QLD ARCHITECTS 5590 KOICHI TAKADA.COM	 <h1>Koichi Takada Architects</h1>	 <p>11 OCEAN ROAD PALM BEACH, NSW 2108</p>	DWG TITLE LEVEL 03 FLOOR PLAN	STATUS FOR CONSTRUCTION	DWG NO. S4.56(2)-0104	REVISION C			
C S4.56(2) - LANDSCAPE AMENDMENT				DK	GF	31/10/22				11 OCEAN ROAD PALM BEACH, NSW, 2108		THIS DOCUMENT IS NOT SUITABLE OR APPROVED FOR CONSTRUCTION AT ANY TIME UNLESS KTA HAVE NOTATED THE STATUS TITLE AS "FOR CONSTRUCTION WITHOUT THE PRESENCE OF ANY TRAFFIC" OR ANY OTHER FORM OF QUALIFICATION ON THE DOCUMENT.							0 5 m 	SCALE 1:100@A1, 1:200@A3	DATE 31/10/22
CLOUD LEGEND <div>REVISION</div> <div>ON HOLD</div>																					



- ## LEGEND
- | | |
|--|----------------------------|
|  | SUBJECT SITE BOUNDARY |
|  | ADJACENT PROPERTY BOUNDARY |
|  | NEW WORKS PLAN |
|  | NEW WORKS SECTION |

[illegible]

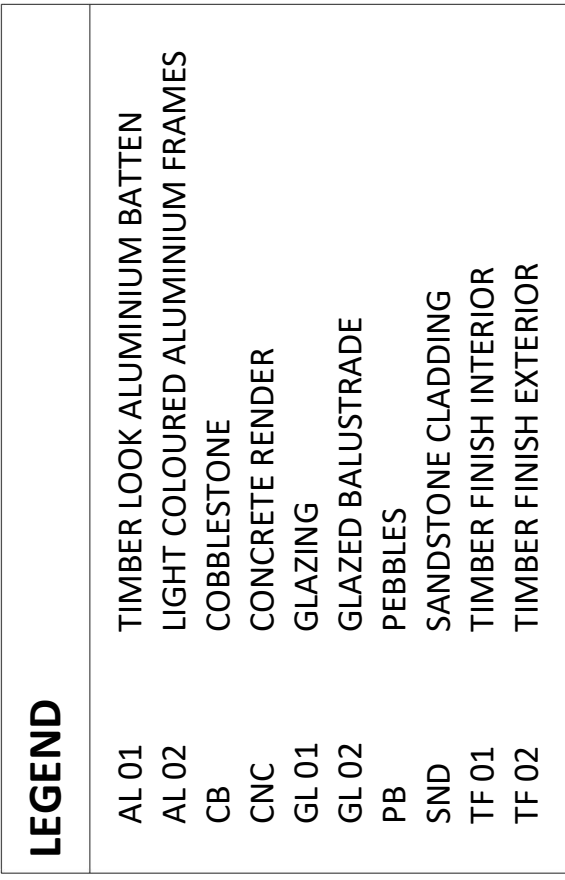
Thermal Comfort:

- External walls, all levels: concrete block core filled and internally lined, with R1.9 insulation &arking
- External stone veneer where indicated
- External floor and roof slabs throughout. Floor coverings as indicated on plans
- R1.2 insulation under floor slabs to lower ground level excluding garage and bin store
- R3.0 insulation to all ceilings below roof to external thermal walls, excluding garage and bin store
- R3.0 insulation to all ceilings below roof to external thermal walls, excluding garage and bin store
- R3.0 insulation (eg. double stud plasterboard) to all internal walls, spaced with garage and bin store
- R3.0 insulation (eg. double stud plasterboard) to all internal walls, spaced with garage and bin store
- Bulk insulation
- Glazing generally: Equal in performance to Uw=2.4, SHGC=0.52 (+/-10% for fixed, sliding), SHG=5.0 (+/-10% for fixed, sliding)
- (+/-) 10% hinged doors and awning. Typical of double clear glazed with low (high) solar gain glazing in standard aluminium frames.
- External shading as per plans
- Draft seals to all external doors and windows
- External shading as per plans (ie. be sealed units). As per lighting plans.
- All daylight installations to be IC rated (sealed units). As per lighting plans
- Performance equivalent of double glazed optimized for allocation – fixed.

- 76mm² nominated landscaping area, of which at least 200m² is to be low water use or indigenous species
- High flow showerheads throughout, 3 star (7.5 – 9.0/l/min)
- 4 star kitchen taps
- 4 star basin taps
- 4 star toilets
- 1000L rainwater tank with minimum 90m² (full) roof catchment, reuse for landscaping, pool top up, and toilet flushing.
- 27.85kL capacity to pool system

- Electric hot water system
- Mechanical exhausts to kitchen range, bathrooms & laundries, ducted to roof or facade, with manual controls
- Induction cooktop & electric oven
- LED or fluorescent lamps throughout dwelling, dedicated fittings
- Single phased air conditioning system to dwelling, Min 3.0 stars cooling & 3.0 stars heating. Zoned
- Solar, gas boosted heating to pool
- Timer installed to pool pump
- External clothes drying space installed
- Installation of a solar power system to the dwelling, minimum peak output 1.3kW

- Installation of a solar power system to the dwelling, minimum peak output 1.3kW

[illegible]

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	<div> <div>REVISION</div> <div>ON HOLD</div> </div>
	CLOUD LEGEND

OTHERS	CLIENT
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JULIE GRAHAM
11 OCEAN ROAD
PALM BEACH, NSW, 2108

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**Koichi
Takada**
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QA12AMP

PROJECT	111 OCEAN ROAD PALM BEACH NSW 2108	DRAW TITLE	NORTH ELEVATION (SIDE)
DATE	5 m	DRAW NO	S4.56(2)-0200
FOR CONSTRUCTION		REVISION	C
		SCALE	DATE
			1:100@A1, 1:200@A3
			31/10/22

Thermal Comfort:

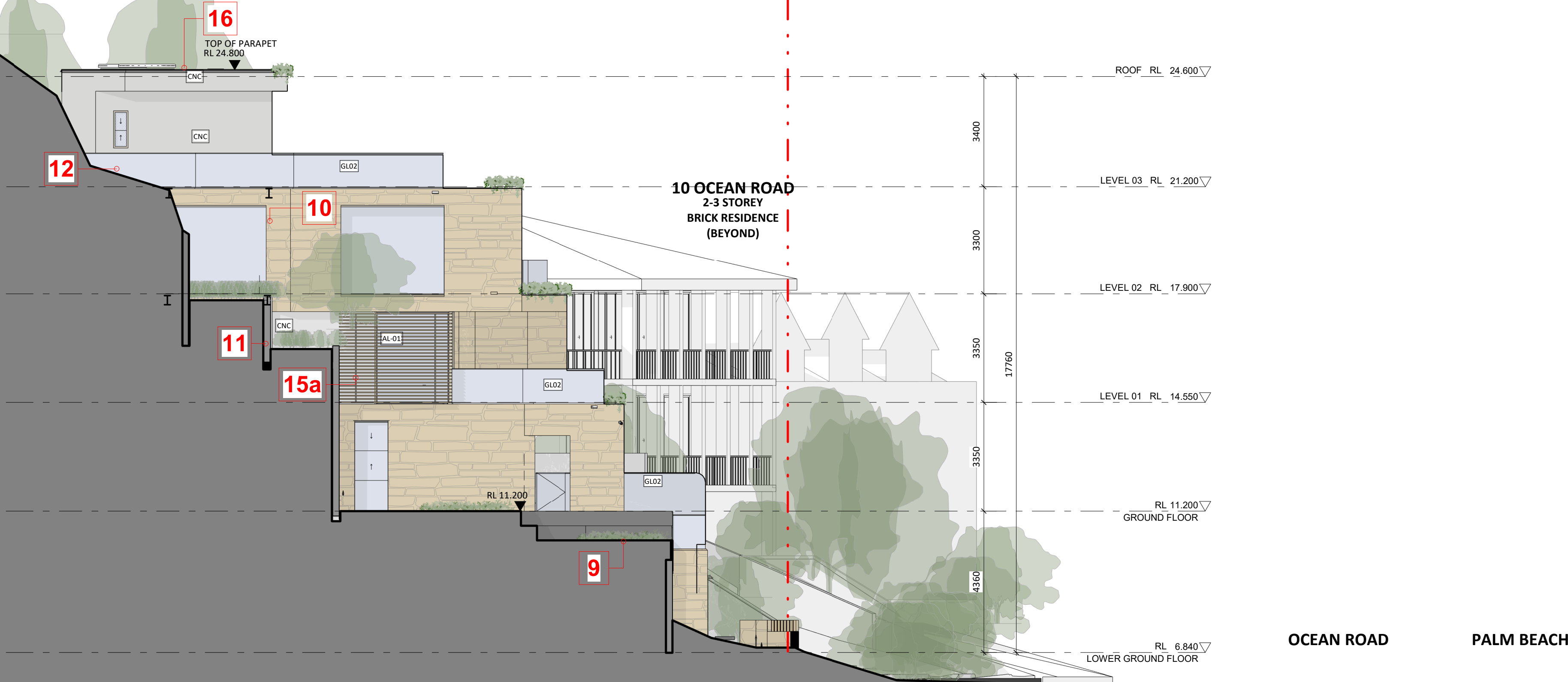
- External walls, all levels: concrete block core filled & internally lined, with R1.9 insulation & sarking. External stone veneer where indicated
- Concrete floor and roof slabs throughout. Floor coverings as indicated on plans
- R1.2 insulation under slabs to lower ground level excluding garage and bin store
- R3.0 insulation to all ceilings below roof or external terrace areas, excluding garage and bin store
- 0.010 insulation (lag, direct stick plasterboard) to all internal walls shared with garage and bin store.
- All suspended slab floors that sit over open air or the air voids to be insulated to a minimum of R2.5 EPS or Bunk Insulation
- Glazing generally: Equal in performance to $U_{wec} \leq 4.3$, $SHGC_{wec} 0.52$ (+/-10% for fixed, sliding), $SHGC_{0.64}$ (+/-10% tinted doors and awning) typical of double clear glazed with low e (high solar gain glazing in standard aluminium frames.
- External shading as per plans
- Draft seals to all external doors and windows
- All Exhaust fans to have dampers installed (ie, be sealed units). As per lighting plans.
- All daylight installations to be IC rated (sealed units). Allocation as per lighting plans
- Performance equivalent of double glazed optimized for skylight – fixed.

- 276m² nominated landscaping area, of which at least 200m² is to be low water use or indigenous species
- High flow showerheads throughout, 3 star (7.5 – 9.0L/min)
- 4 star kitchen taps
- 4 star basin taps
- 4 star toilets
- 10000L rainwater tank with minimum 90m² (full) roof catchment, reuse for landscaping, pool top up, and toilet flushing.
- 27.85kL capacity to pool system

- Electric hot water system
- Mechanical exhausts to kitchen range, bathrooms & laundries, ducted to roof or facade, with manual controls.
- Induction cooktop & electric oven
- LED or fluorescent lamps throughout dwelling, dedicated fittings
- Single phased air conditioning system to dwelling. Min 3.0 stars cooling & 3.0 stars heating. Zoned
- Solar, gas boosted heating to pool
- Timer installed to pool pump
- External clothes drying space installed
- Installation of a solar power system to the dwelling, minimum peak output 1.3kW

AL 01	TIMBER LOOK ALUMINIUM BATTEN
AL 02	LIGHT COLOURED ALUMINIUM FRAMES
CB	COBBLESTONE
CNC	CONCRETE RENDER
GL 01	GLAZING
GL 02	GLAZED BALUSTRADE
PB	PEBBLES
SND	SANDSTONE CLADDING
TF 01	TIMBER FINISH INTERIOR
TF 02	TIMBER FINISH EXTERIOR

11 OCEAN ROAD
SUBJECT SITE

[illegible]

BASIX Commitments

Thermal Comfort:

- External walls, all levels: concrete block core filled & internally lined, with R1.9 insulation & sarking, External stone veneer where indicated
- Concrete floor and roof slabs throughout. Floor coverings as indicated on plans
- R1.2 insulation under slab to lower ground level excluding garage and bin store
- R3.0 insulation to all ceilings below roof or external terrace areas, excluding garage and bin store
- R1.0 insulation (eg. direct stick plasterboard) to all internal walls shared with garage and bin store.
- All suspended slab floors that sit over open air or the air voids to be insulated to a minimum of R2.5 EPS or Bulk Insulation
- Glazing generally: Equal in performance to $U_w \leq 4.3$, $SHGC_w 0.52$ (+/-10% for fixed, sliding), $SHGC 0.64$ (+/-10% hinged doors and awning) typical of double clear glazed with low e (high solar gain glazing in standard aluminium frames.
- External shading as per plans
- Draft seals to all external doors and windows
- All Exhaust fans to have dampers installed (ie, be sealed units). As per lighting plans.
- All downlight installations to be IC rated (sealed units). Allocation as per lighting plans
- Performance equivalent of double glazed opalized for skylight – fixed.

WATER SPECIFICATION

- 276m² nominated landscaping area, of which at least 200m² is to be low water use or indigenous species
- High flow showerheads throughout, 3 star (7.5 – 9.0L/min)
- 4 star kitchen taps
- 4 star basin taps
- 4 star toilets
- 10000L rainwater tank with minimum 90m² (full) roof catchment, reuse for landscaping, pool top up, and toilet flushing.
- 27.85kL capacity to pool system

ENERGY SPECIFICATION

- Electric hot water system
- Mechanical exhausts to kitchen range, bathrooms & laundries, ducted to roof or facade, with manual controls.
- Induction cooktop & electric oven
- LED or fluorescent lamps throughout dwelling, dedicated fittings
- Single phased air conditioning system to dwelling. Min 3.0 stars cooling & 3.0 stars heating. Zoned
- Solar, gas boosted heating to pool
- Timer installed to pool pump
- External clothes drying space installed
- Installation of a solar power system to the dwelling, minimum peak output 1.3kW

LEGEND

AL 01	TIMBER LOOK ALUMINIUM BATTEN
AL 02	LIGHT COLOURED ALUMINIUM FRAMES
CB	COBBLESTONE
CNC	CONCRETE RENDER
GL 01	GLAZING
GL 02	GLAZED BALUSTRADE
PB	PEBBLES
SND	SANDSTONE CLADDING
TF 01	TIMBER FINISH INTERIOR
TF 02	TIMBER FINISH EXTERIOR



northern
beaches
council

PLANS APPROVED BY THE LAND AND
ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2022/00215565

DATED: 06/12/2022

NO.	REVISION	BY	CHK	DATE
A	S4.56	AG	AG	31/09/21
B	S4.56(2)	BY	GF	23/09/22
C	S4.56(2) - LANDSCAPE AMENDMENT	DK	GF	31/10/22

REVISION NOTES:

KEY PLAN

CLOUD LEGEND
REVISION
ON HOLD

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NOMINATED ARCHITECT:
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NSW ARCHITECTS 6901
VIC ARCHITECTS 18179
QLD ARCHITECTS 5590
KOICHI TAKADA.COM

Koichi
Takada
Architects

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PROJECT

11 OCEAN ROAD
PALM BEACH, NSW 2108

STATUS

FOR CONSTRUCTION

SCALE

1:100@A1, 1:200@A3

DWG TITLE

EAST ELEVATION (OCEAN ROAD)

DWG NO.

S4.56(2)-0202

SCALE

1:100@A1, 1:200@A3

REVISION

C

DATE

31/10/22

Thermal Comfort:

- External walls, all levels: concrete block core filled & internally lined, with R19 insulation & sarking. External stone veneer where indicated
- Concrete floor and roof slabs throughout. Floor coverings as indicated on plans
- R12 insulation under slabs to lower ground level excluding garage and bin store
- R1.0 insulation to all ceilings below roof or external terrace areas, excluding garage and bin store
- R1.0 insulation (e.g. direct stick plasterboard) to all internal walls shared with garage and bin store.
- All suspended slab floors that sit over open air or the air voids to be insulated to a minimum of R2.5 EPS or Bulk Insulation
- Glazing general: Equal in performance to Uw<=0.43, SHGC<0.52 (+/-10% for fixed, sliding), SHGC<0.64 (+/-10% hinged doors and awning) typical of double clear glazed with low e (high solar gain glazing in standard aluminium frames.
- External shading as per plans
- Draft seals to all external doors and windows
- All Exhaust fans to have dampers installed (i.e. sealed units). As per lighting plans.
- All downlight installations to be IC rated (sealed units). Allocation as per lighting plans
- Performance equivalent of double glazed optimized for skylight – fixed.

- 276m² nominated landscaping area, of which at least 200m² is to be low water use or indigenous species
- High flow showerheads throughout, 3 star (7.5 – 9.0l/min)
- 4 star kitchen taps
- 4 star basin taps
- 4 star toilets
- 10000l rainwater tank with minimum 90m² (full) roof catchment, reuse for landscaping, pool top up, and toilet flushing.
- 27.85kl capacity to pool system

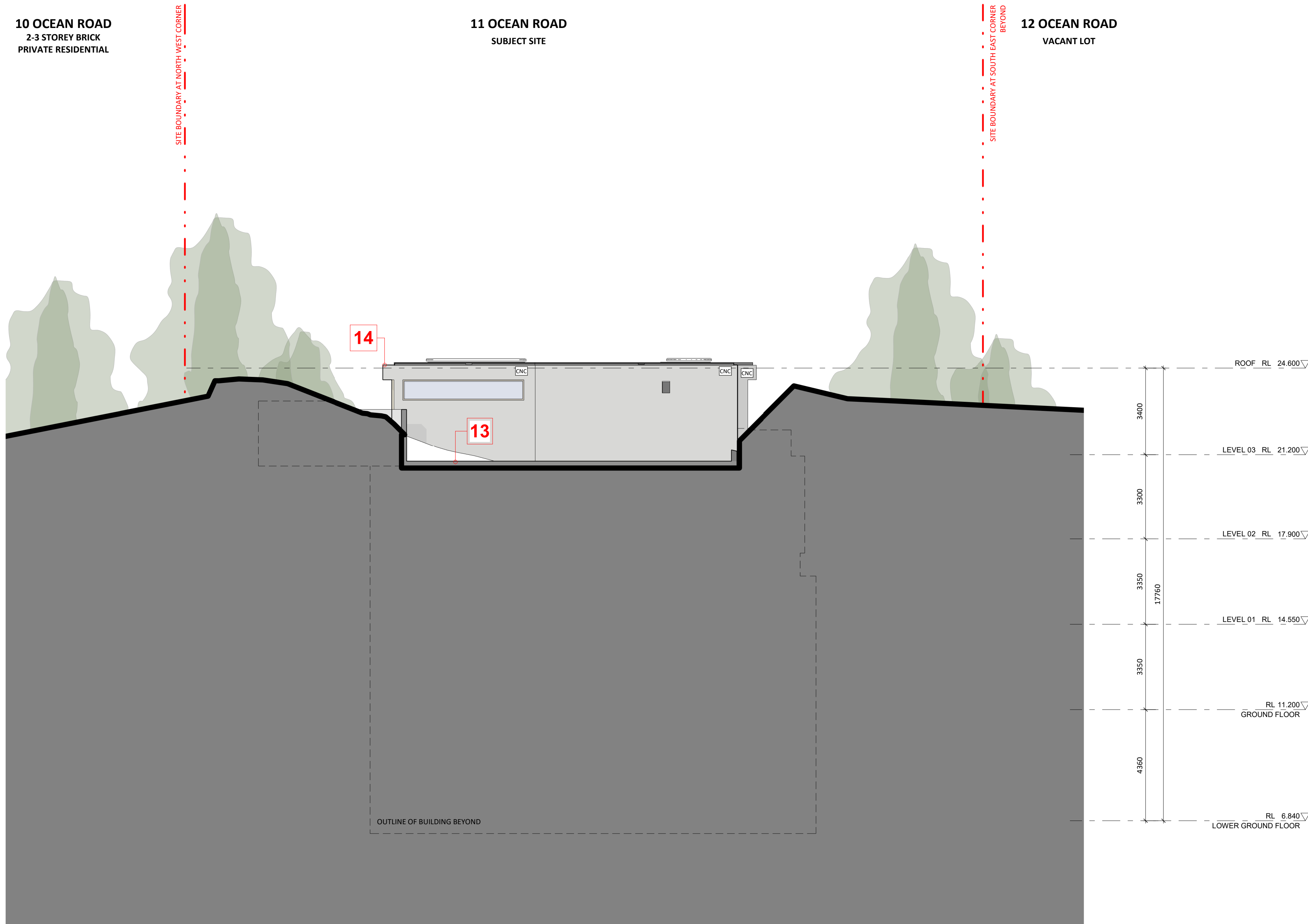
- Electric hot water system
- Mechanical exhausts to kitchen range, bathrooms & laundries, ducted to roof or facade, with manual controls
- Induction cooktop & electric oven
- LED or fluorescent lamps throughout dwelling, dedicated fittings
- Single phased air conditioning system to dwelling. Min 3.0 stars cooling & 3.0 stars heating. Zoned
- Solar, gas boosted heating to pool
- Timer installed to pool pump
- External clothes drying space installed
- Installation of a solar power system to the dwelling, minimum peak output 1.3kW

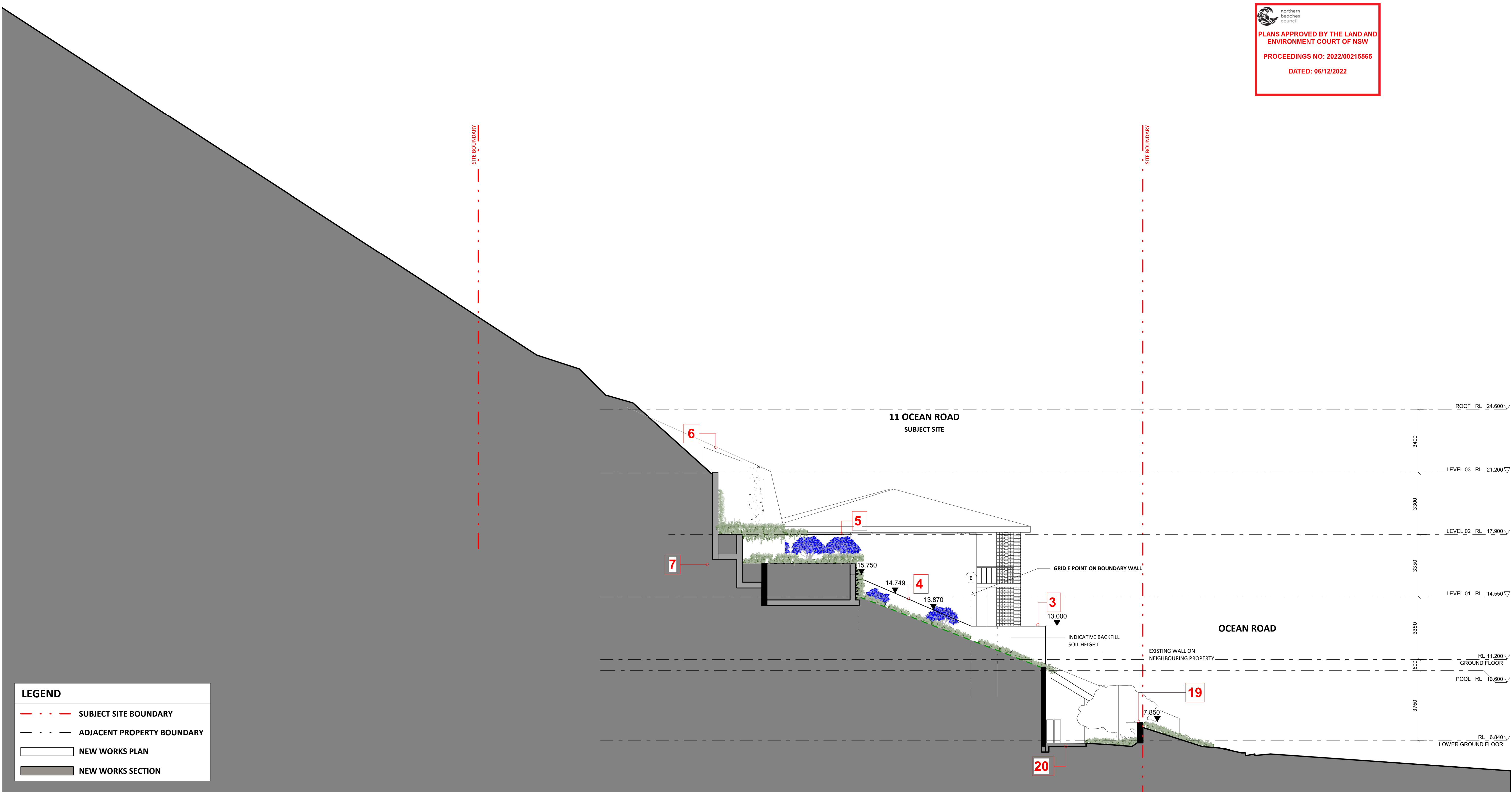
AL 01	TIMBER LOOK ALUMINIUM BATTEN
AL 02	LIGHT COLOURED ALUMINIUM FRAMES
CB	COBBLESTONE
CNC	CONCRETE RENDER
GL 01	GLAZING
GL 02	GLAZED BALUSTRADE
PB	PEBBLES
SND	SANDSTONE CLADDING
TF 01	TIMBER FINISH INTERIOR
TF 02	TIMBER FINISH EXTERIOR

10 OCEAN ROAD
2-3 STOREY BRICK
PRIVATE RESIDENTIAL

11 OCEAN ROAD
SUBJECT SITE

12 OCEAN ROAD
VACANT LOT

[illegible]

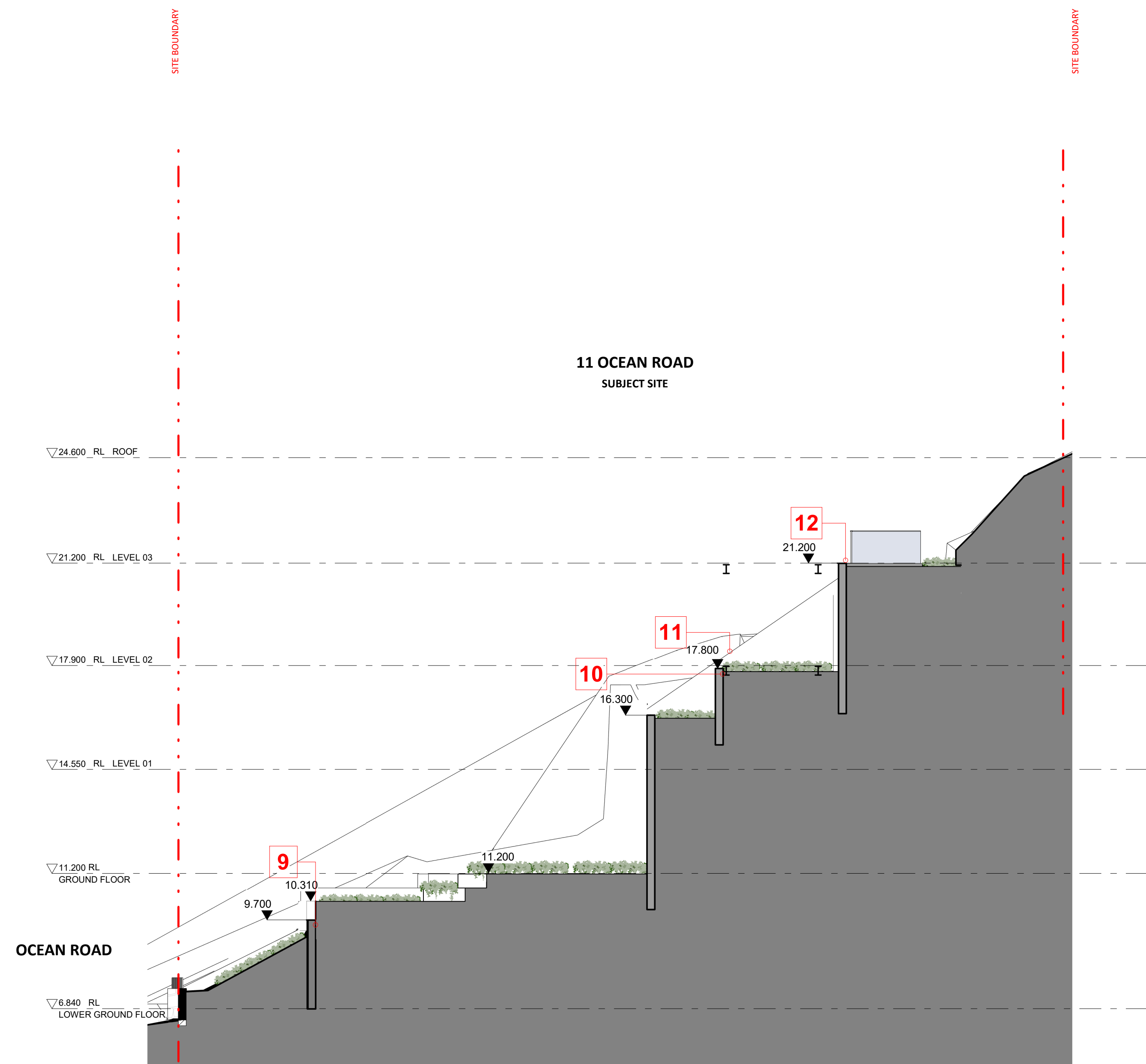
[illegible]






PLANS APPROVED BY THE LAND AND ENVIRONMENT COURT OF NSW

PROCEEDINGS NO: 2022/00215565

DATED: 06/12/2022



LEGEND

- **SUBJECT SITE BOUNDARY**
 **ADJACENT PROPERTY BOUNDARY**
 **NEW WORKS PLAN**
 **NEW WORKS SECTION**

[illegible]